

GENERAL NOTES

GENERAL NOTES APPLY TO WORK OF OWNER / BUILDER, GENERAL CONTRACTOR, SUBCONTRACTORS, AND MATERIAL SUPPLIERS.

THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK, MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.

THE BUILDER WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.

ALL WORK DONE UNDER THE SUPERVISION OF THE BUILDER IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.

INDUSTRY STANDARDS:
INDUSTRY STANDARDS SHALL HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF WORK AS IF COPIED DIRECTLY INTO THE CONTRACT DOCUMENTS OR BOUND AND PUBLISHED THEREWITH. COMPLY WITH STANDARDS IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED OR REQUIRED BY GOVERNING AUTHORITIES.

RELATED - REFERENCED DOCUMENTS:
ALL WORK SHALL BE CONDUCTED BY THE BUILDER IN ACCORDANCE WITH THE LATEST ADOPTED EDITIONS OF BUILDING CODES AS OF THE DATE THE PERMIT IS ISSUED FOR THIS PROJECT. BUILDER SHALL REPORT ANY DISCREPANCIES BETWEEN CURRENT CODE AND THE DRAWINGS OR SPECIFICATIONS TO THE DESIGNER PRIOR TO WORK.

ALL WORK SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS. INDUSTRY STANDARDS SHALL BE AS DETERMINED BY MANUAL OR HANDBOOK OF THE PRIMARY ASSOCIATION OF EACH TRADE. THE MANUALS SHALL INCLUDE, BUT NOT BE LIMITED TO: GYPSUM ASSOCIATION - APA - ENGINEERED WOOD ASSOCIATION - NATIONAL TILE CONTRACTORS ASSOCIATION - STEEL STUD MANUFACTURERS ASSOCIATION - WESTERN WOOD TRUSS ASSOCIATION - CONCRETE BLOCK ASSOCIATION - PLANS, NOTATIONS AND DETAILS ARE HIERARCHICAL. HIGHLY DETAILED DRAWINGS TAKE PRECEDENCE OVER LOWER DETAILED DRAWINGS. NOTATIONS TAKE PRECEDENCE OVER GRAPHICAL DRAWINGS.

DO NOT SCALE THESE DRAWINGS. SCALE NOTED ON DRAWINGS IS FOR VISUAL ORIENTATION ONLY. UNDER NO CIRCUMSTANCES WILL A BUILDER BE CREDITED FOR MISTAKES CAUSED BY "SCALING" DRAWINGS. IF A DISCREPANCY IS FOUND, THE BUILDER IS TO CONTACT THE DESIGNER FOR INTERPRETATION OF INTENT PRIOR TO COMMENCEMENT OF WORK.

THE BUILDER IS THE SOLE PARTY IN CONTROL OF THE WORK ENVIRONMENT, AS A RESULT THE BUILDER MUST VERIFY ALL DIMENSIONS ON THE PLANS WITH EXISTING OR ON GOING SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. DIMENSIONS ARE TO FACE OF STUD, CMU OR CONCRETE UNLESS OTHERWISE NOTED.

SHOP DRAWINGS OR DRAWINGS PROVIDED BY OTHERS:
ARE NOT PART OF THE CONTRACT DOCUMENTS BUT SHALL BE PREPARED IN ACCORDANCE OF THE CONTRACT DOCUMENTS.
ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE SUBJECT TO REVIEW BY THE ARCHITECT, AT THE ARCHITECT'S DISCRETION.
REQUIRED AND REQUESTED SHOP DRAWINGS SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR AFTER THE BUILDER HAS REVIEWED THE SHOP DRAWINGS, COORDINATED WITH THE TRADES AND VERIFIED ALL DIMENSIONS WITH ACTUAL FIELD CONDITIONS, TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. NO PART OF THE STRUCTURE OR COMPONENT SHALL BE CONSTRUCTED WHEN SHOP DRAWINGS ARE REQUIRED UNTIL APPROVED.

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT THREE (3) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION. SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE BUILDER WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS, AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO (2) WEEKS FOR REVIEW TIME. DRAWINGS TO BE TO SCALE.

ARCHITECT / ENGINEER ARE NOT REQUIRED TO RETURN UNSOLICITED SHOP DRAWINGS AND RETAIN THE RIGHT TO RETURN THE UNSOLICITED SHOP DRAWINGS WITHOUT REVIEW OR COMMENT OR APPROVAL.

THE DESIGNER RESERVES THE RIGHT TO CHARGE AN ADDITIONAL SERVICE FEE FOR MULTIPLE REVIEWS OF THE SAME SHOP DRAWING OR FOR REVIEW OF UNSOLICITED SHOP DRAWINGS.

NO COST SHALL BE ATTRIBUTED TO THE OWNER, DESIGNER OR ENGINEER FOR A BUILDER'S FAILURE TO COMPLY WITH SHOP DRAWING PROCEDURES.

THE DESIGNER / ENGINEER IS NOT RESPONSIBLE FOR DELAYS OR COSTS CAUSED BY INACCURATE OR INCOMPLETE SHOP DRAWINGS.

SUBSTITUTIONS & ALTERNATES:
BUILDER MAY SUBMIT (1) MID LEVEL AND (1) UPPER LEVEL ALTERNATE TO EACH MATERIAL OR PRODUCT AS A SEPARATE LINE ITEM IN THE PROPOSAL. ALTERNATES SHALL NOT BE ALLOWED WHERE A SPECIFIC PRODUCT IS NOTED IN THE CONTRACT DOCUMENTS UNLESS SUCH PRODUCT IS NOT LONGER AVAILABLE FROM THE MANUFACTURER.

ALTERNATES SHALL HAVE GREATER VALUE THAN THE PRODUCT IN THE BASE BID. BUILDER WARRANTS THAT ALTERNATES WILL NOT REQUIRE ANY OTHER DEVIATIONS FROM THE CONTRACT DOCUMENTS AND THAT ALTERNATES MEET OR EXCEED ALL REQUIREMENTS OF THE DRAWINGS.

SUBSTITUTIONS SHALL HAVE EQUAL OR GREATER REQUIREMENTS THAN THE PRODUCT THEY ARE REPLACING. BUILDER WARRANTS THAT SUBSTITUTIONS WILL NOT REQUIRE ANY OTHER DEVIATIONS FROM THE CONTRACT DOCUMENTS AND THAT SUBSTITUTIONS MEET OR EXCEED ALL REQUIREMENTS OF THE DRAWINGS.

VALUE ENGINEERING MAY TAKE PLACE ONLY AFTER AN AWARD OF CONTRACT.

AGREEMENTS, QUALIFICATIONS & ASSURANCES:
THE BUILDER SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. PROPOSAL OR AGREEMENT. THE BUILDERS PROPOSAL SHALL INCLUDE ALL TRADES AND SERVICES NECESSARY FOR COMPLETION OF THE WORK. THE BUILDER SHALL NOTATE ALL EXISTING CONDITIONS WHICH INTERFERE OR CONFLICT WITH THE WORKING DRAWINGS AND REPORT THE INCONSISTENCIES PRIOR TO BID. PROPOSAL OR AGREEMENT. NO CHANGE ORDERS WILL BE PERMITTED FOR FAILURE TO NOTIFY DESIGNER OF CONFLICTING SITE CONDITIONS.

THE BUILDER AND ALL SUB-CONTRACTORS SHALL BE FULLY LICENSED AND BONDED FOR THE WORK FOR WHICH THEY ARE RESPONSIBLE. PROOF OF LICENSURE SHALL BE PROVIDED TO THE OWNER PRIOR TO EXECUTION OF THE AGREEMENT.

BUILDER SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT, ALL APPLICABLE GUARANTEES, WARRANTIES, AND OPERATING MANUALS.

COMMUNICATION

HERSCOE HAJJAR ARCHITECTS IS THE POINT OF CONTACT FOR THIS PROJECT. BUILDER SHALL NOT COMMUNICATE DIRECTLY WITH ENGINEERS AND/OR CONSULTANTS WITHOUT KNOWLEDGE OF HERSCOE HAJJAR ARCHITECTS.

HERSCOE HAJJAR ARCHITECTS SHALL COMMUNICATE ONLY WITH THE BUILDER OR THE PRIMARY CONTACT DIRECTLY RESPONSIBLE FOR THE OVERALL PROJECT. HERSCOE HAJJAR ARCHITECTS HAS NO OBLIGATION TO COMMUNICATE WITH THE SUBCONTRACTORS AND ANY COMMUNICATION DONE IN THIS MANNER SHALL BE CONSIDERED ADVISORY ONLY AND NOT INSTRUCTIVE.

SUPERVISION & CONTROL

THE DEVELOPER / GENERAL CONTRACTOR SHALL ASSIGN A QUALIFIED CONSTRUCTION SUPERVISOR TO THE PROJECT AND SHALL BE RESPONSIBLE FOR COORDINATION, CODE COMPLIANCE, ADMINISTRATION, SUPERVISION, RECHECKING DIMENSIONS & MEASUREMENTS; SURVEYING & RECORDING; INSPECTIONS & TESTING; GENERAL INSTALLATION PROVISIONS; CUTTING & PATCHING, AND CLEANING & PROTECTING.

WINDOW AND DOOR NOTE

ALL EXTERIOR OPENING CLOSURES WINDOWS, AND DOORS, MUST MEET THE 2023 FBC 8TH EDITION, SEC. 1609, 170 MPH WIND LOADS, COASTAL EXPOSURE.

APPLICABLE CODES

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES, ORDINANCES, AND DEVELOPMENT STANDARDS AS WELL AS ALL APPLICABLE NATIONAL, STATE AND LOCAL ORDINANCES:

CODE OF ORDINANCES: COLLIER COUNTY

BUILDING: FLORIDA BUILDING CODE (2023 8TH EDITION)
ELECTRIC: NATIONAL ELECTRIC CODE 2020
PLUMBING: FLORIDA BUILDING CODE (2023 8TH EDITION)
MECHANICAL: FLORIDA BUILDING CODE (2023 8TH EDITION)
STRUCTURAL: FLORIDA BUILDING CODE (2023 8TH EDITION)
FIRE: FLORIDA BUILDING CODE (2023 8TH EDITION)
FFPC (2023 8TH EDITION)
FUEL / GAS: FLORIDA BUILDING CODE (2023 8TH EDITION)

STATE AND FEDERAL STATUTES:
LOCAL CODES AND ORDINANCES:
FLOOD DAMAGE PREVENTION ORDINANCES:
ACCESSIBILITY CODES AND STANDARDS.

CODE SUMMERY

ZONING: PUD
OCCUPANCY: MULTI-FAMILY RESIDENCE (SINGLE UNIT)
BUILDING CONSTRUCTION TYPE: I A, NS
FLOOD ZONE: AE11, AE10

AREA CALCULATION

EXISTING AREA CALCULATION AS PER EXISTING DRAWINGS:

A/C MAIN RESIDENCE COVERED NON A/C AREA	=	2,496 sq. ft.
TOTAL	=	2,522 sq. ft.
WORK AREA	=	1,413 sq. ft.

NO ADDITIONS TO EXISTING A/C SPACE

DEFINITIONS

THE TERM "BUILDER" SHALL BE THE SAME AS "GENERAL CONTRACTOR". THE "BUILDER" IS THE PARTY RESPONSIBLE FOR THE "WORK" AND FOR WHICH A PRIME CONTRACT IS WRITTEN WITH THE "OWNER". SUBCONTRACTORS SHALL ANSWER TO THE "BUILDER".

THE TERM "ARCHITECT" WHERE REFERENCED IN THIRD PARTY DOCUMENTS SHALL MEAN "HERSCOE HAJJAR ARCHITECTS (DESIGNER)".

THE TERM "OWNER" SHALL MEAN THE PRIME PARTY RESPONSIBLE FOR PAYMENTS TO THE "BUILDER" AND "HERSCOE HAJJAR ARCHITECTS". THE TERM MAY OR MAY NOT REFER TO THE LEGAL OWNER OF THE PROPERTY FOR WHICH THE STRUCTURES WILL BE ERRECTED.

THE TERM "WORK" SHALL MEAN ALL LABOR, TRANSPORTATION, MATERIAL, EQUIPMENT, TOOLS, INSTALLATION, SYSTEMS, SUPERVISION AND ANY OTHER INCIDENTAL ITEMS OR SERVICES NECESSARY FOR FOR THE PROPER EXECUTION OF THE PROJECT AND A COMPLETED STRUCTURE READY FOR HUMAN OCCUPANCY WHETHER OR NOT SPECIFICALLY INDICATED OR NOTED. "WORK" SHALL ALSO INCLUDE ANY DEMOLITION OR REPAIR REQUIRED AS A PROCESS OF THE CONSTRUCTION.

THE TERM "PROVIDE" SHALL MEAN FURNISH AND INSTALL, MAKE ALL FINAL CONNECTIONS AND LEAVE IN AN APPROVED COMPLETE OPERATING CONDITION.

THE TERM "CONTRACT DOCUMENTS" SHALL MEAN ALL DRAWINGS & SPECIFICATIONS OR CORRESPONDENCE ISSUED BY THE DESIGNER OR THE DESIGNERS ENGINEERS.

THE TERM "ALTERNATE" SHALL BE THOSE ITEMS SUBMITTED AT THE TIME OF BID WHICH PROVIDE ANOTHER OPTION FOR THE OWNER TO CONSIDER. ALTERNATES MUST BE APPROVED PRIOR TO ACCEPTANCE OF BID. ALTERNATES MAY INCREASE THE OVERALL COST OF THE PROJECT.

THE TERM "SUBSTITUTION" SHALL MEAN THOSE ITEMS A BUILDER WISHES TO CHANGE FROM THE ORIGINAL CONTRACT DOCUMENTS. SUBSTITUTIONS SHALL BE APPROVED PRIOR TO INSTALLATION. SUBSTITUTIONS SHALL NOT INCREASE THE OVERALL COST OF THE PROJECT.

ANY TERM NOT DEFINED SHALL BE FIRST REFERENCED IN ACCORDANCE WITH STANDARD AIA OWNER-CONTRACTOR AGREEMENT & ALSO GENERAL CONDITIONS FOR THE CONTRACT FOR CONSTRUCTION.

MATERIAL NOTES

ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.

BUILDER SHALL FURNISH AND INSTALL ALL MATERIALS REQUIRED FOR THE ASSEMBLIES IN WHICH THEY ARE PART. THIS INCLUDES ALL FASTENERS, JOINERS AND SEALERS.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.

PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.

FLASHING, CRICKETS, DRIPS, ETC. TO BE METAL.

PRIOR TO PLACEMENT OF ANY STUCCO OVER CONCRETE SURFACES, SUCH SURFACES SHALL BE TREATED WITH BODING AGENT APPLIED IN FULL CONFORMANCE WITH MANUFACTURERS RECOMMENDATIONS.

ALL DRYWALL TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK.

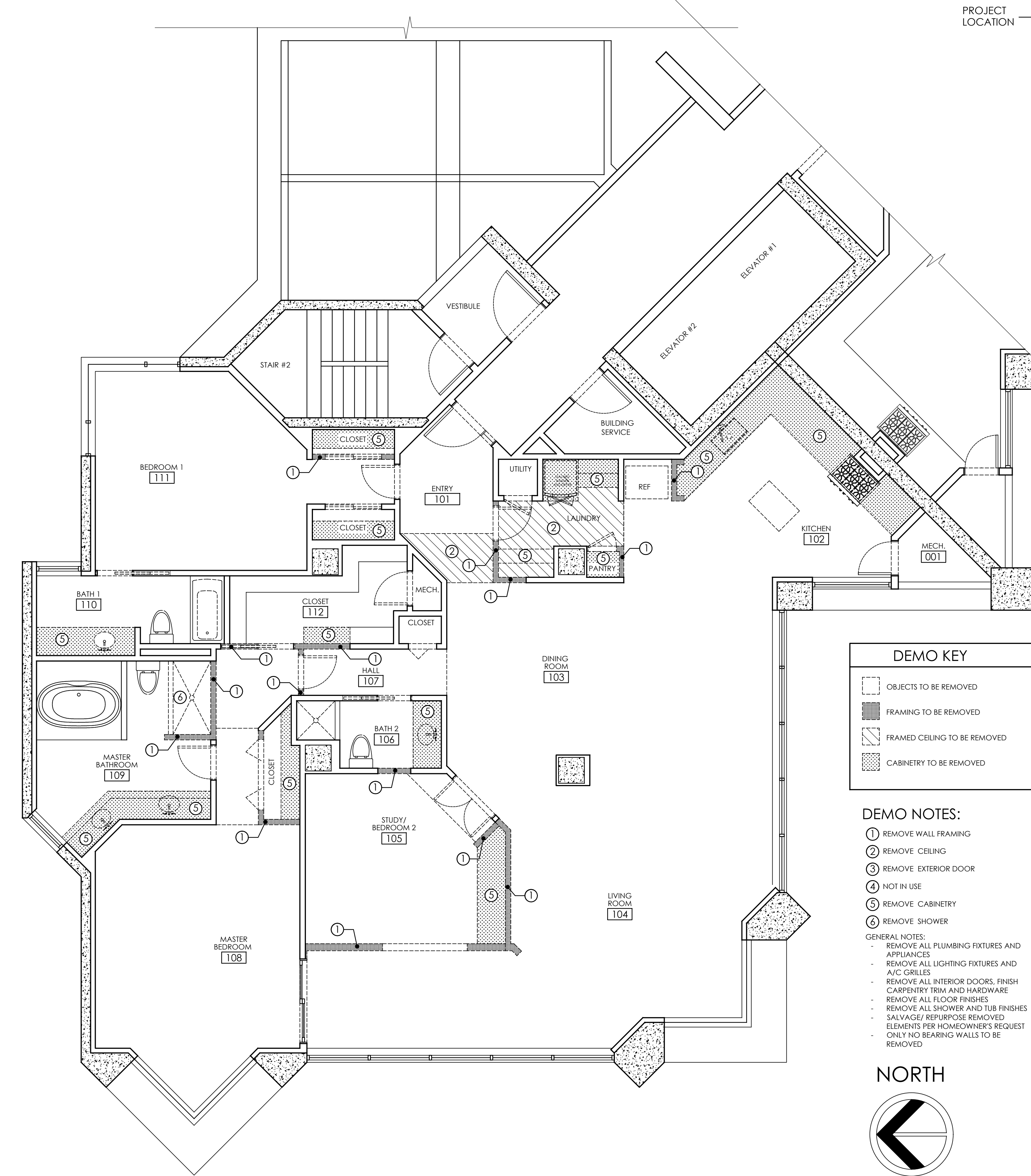
ALL JOIST, RAFTERS, AND TRUSSES SHALL BE ANCHORED TO BEARING PARTITIONS, WALLS, AND / OR TIE BEAMS WITH APPROVED ANCHORS.

BUILDER TO VERIFY AND COORDINATE ALL FINISH MATERIALS WITH OWNER / ARCHITECT.

ALL EXTERIOR PAINT COLORS TO BE SELECTED BY ARCHITECT, INTERIOR DESIGNER AND OWNER.

ALL INTERIOR PAINT COLORS TO BE SELECTED BY ARCHITECT, INTERIOR DESIGNER AND OWNER.

PROVIDE ACCESS AS PER CODE TO A/C UNITS IN TRUSS OR ATTIC SPACE

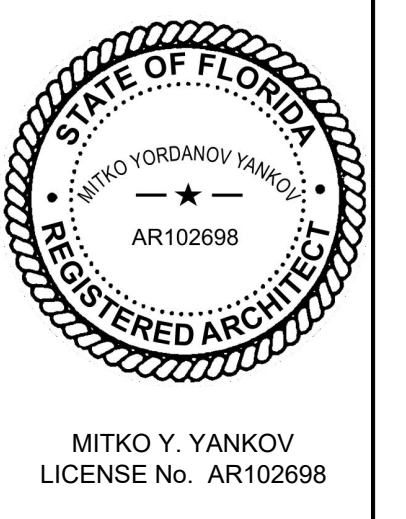


DRAWING INDEX:

ARCHITECTURE		DATE	
DWG NO.	DESCRIPTION	ISSUED FOR	DATE
D20.0	GENERAL INFORMATION; EXISTING/ DEMO PLAN	X	01/18/2024
A20.0	PROPOSED FLOOR PLAN; DOOR SCHEDULE; TYPICAL DETAILS	X	02/24/2024
A30.0	REFLECTED CEILING PLAN	X	04/04/2024
		X	05/17/2024
		X	06/04/2024

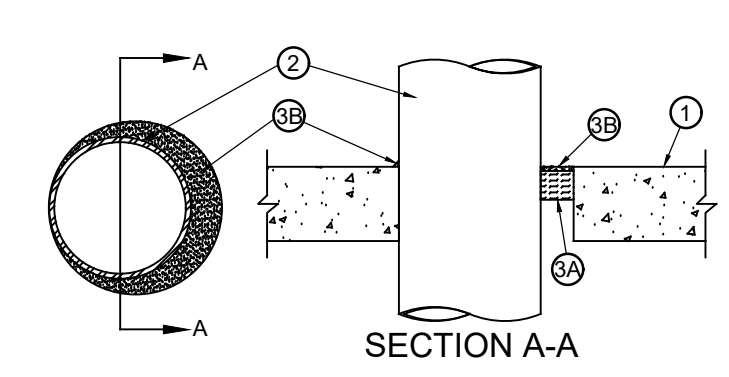
REVISIONS:

No.	Description	Date
1	ISSUED FOR BID	01/18/2024
2	ISSUED FOR PERMIT	02/24/2024
3	REV. PER COMMENTS	02/29/2024
4	REV. PER COMMENTS	04/05/2024
5	REV. PER COMMENTS	05/12/2024
6	REVISION	06/04/2024



PROJECT:
CONDO RENOVATION ALTERATION LEVEL 2
5555 HERON POINT DR, APT 201, NAPLES, FL 34108

DRAWING TITLE:
GENERAL INFORMATION;
EXISTING/ DEMO PLAN

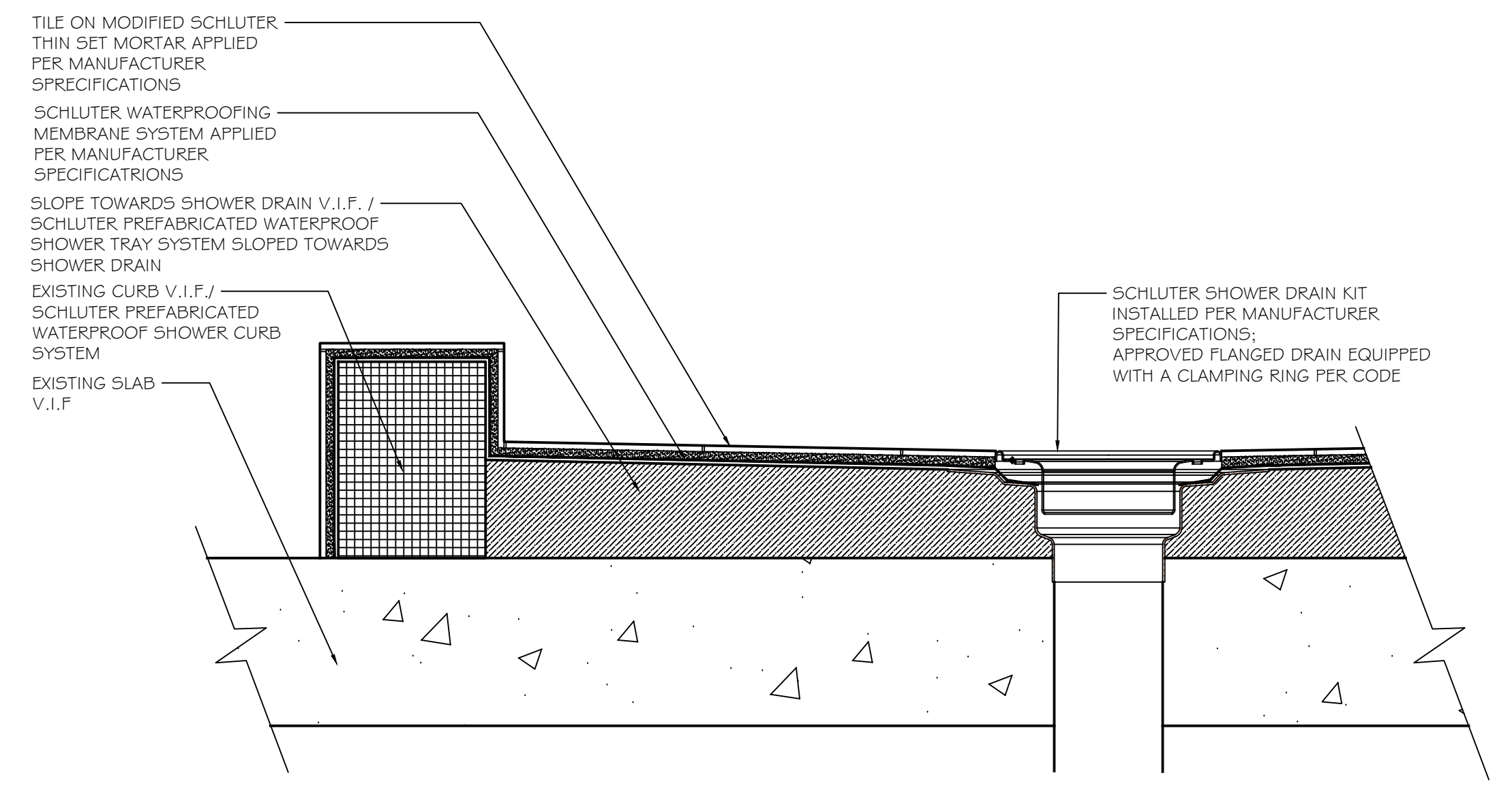


ANSI/UL1479
 PENETRATION THRU SLAB/WALL
 RATING - 2 HR.

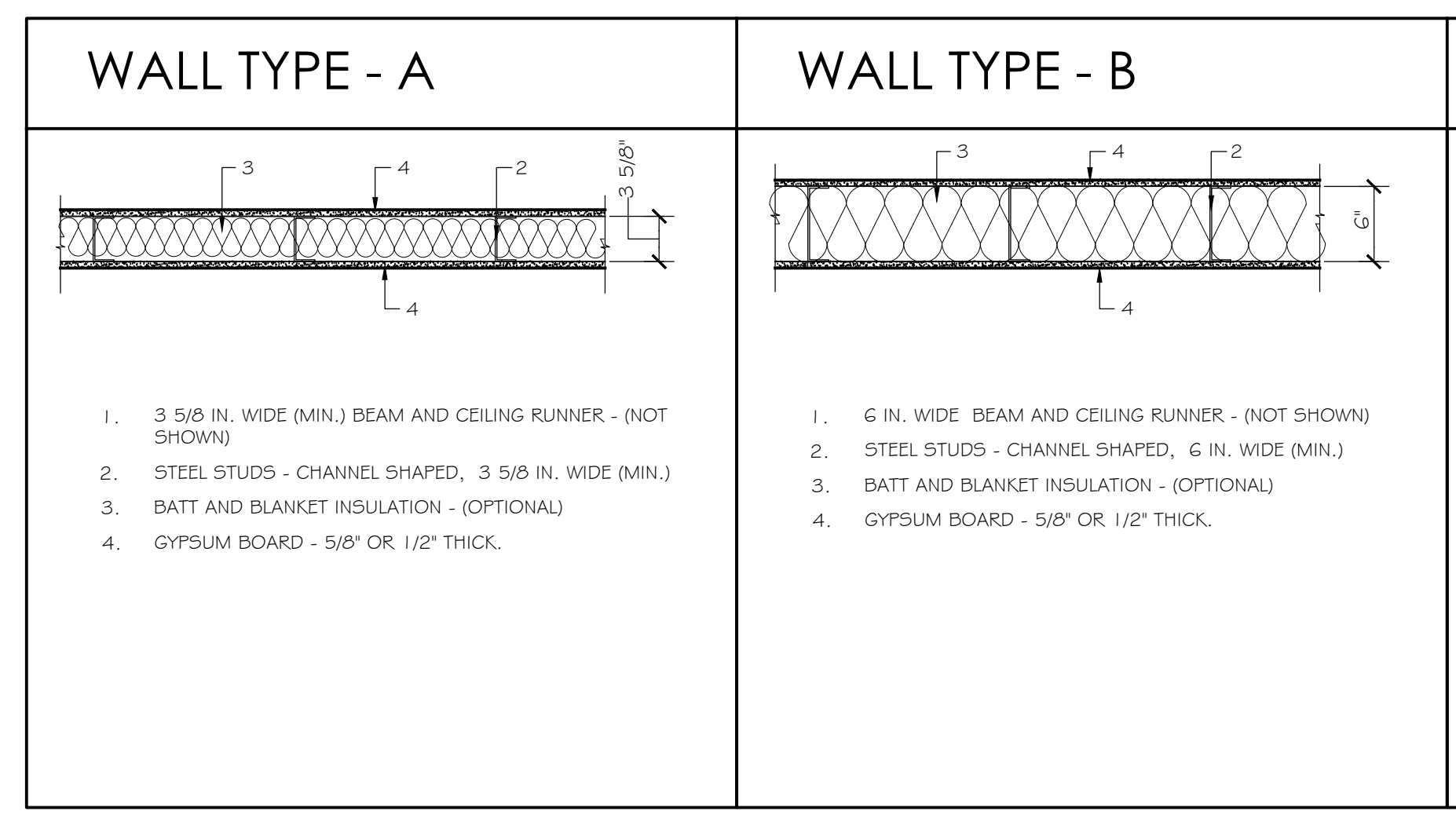
F Rating — 2 Hr
 T Rating — 0 Hr
 L RATING AT AMBIENT — LESS THAN 1 CFMSQ
 FT
 L RATING AT 400 F — 2 CFMSQ FT

- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 10-1/2 in. (267 mm).
- Through Penetrants — One metallic pipe or tubing to be installed either concentrically or eccentrically within the firestop system. The annular space between tube and periphery of opening shall be min 0 in. (point contact) to max 1/8 in. (48 mm). Penetrants to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes or tubing may be used:
 - Steel Pipe — Nom 8 in. (203 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - Iron Pipe — Nom 8 in. (201 mm) diam (or smaller) cast or ductile iron pipe.
 - Conduit — Nom 6 in. (152 mm) diam (or smaller) steel conduit, or nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing.
 - Copper Tubing — Nom 4 in. (102 mm) diam (or smaller) Type M (or heavier) copper tube.
 - Copper Pipe — Nom 4 in. (102 mm) diam (or smaller) Regular (or heavier) copper pipe.
- Firestop System — The details of the firestop system shall be as follows:
 - Packing Material — Min 2 in. (51 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
 - Forming Material — As an alternate to the packing material in item 3, nom 4 in. (102 mm) wide strips of min 1/2 in. (13 mm) thick compressible mat to be stacked to a thickness greater than the width of the annular space and compression-fitted, edge-first, to fill the annular space to a min 4 in. (102 mm) depth. As an option, the strips of min 1/2 in. (13 mm) thick compressible mat may be folded in half, lengthwise, and stacked to a thickness greater than the width of the annular space and compression-fitted, edge-first, to fill the annular space to a min 2 in. (51 mm) depth. Top of forming material to be recessed from top surface of floor or from both surfaces of wall as necessary to accommodate the required thickness of caulk fill material.
 - Fill Void or Cavity Material — Caulk — Min 1/4 in. (6 mm) thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall. Min 1/2 in. (13 mm) diam bead of caulk applied to the penetrant/concrete interface at the point contact location on the top surface of floor or both surfaces of wall.

TYPICAL FIRE PENETRATION DETAIL
 SCALE: NTS



TYPICAL SHOWER TRAY DETAIL
 SCALE: 3"=1'-0"



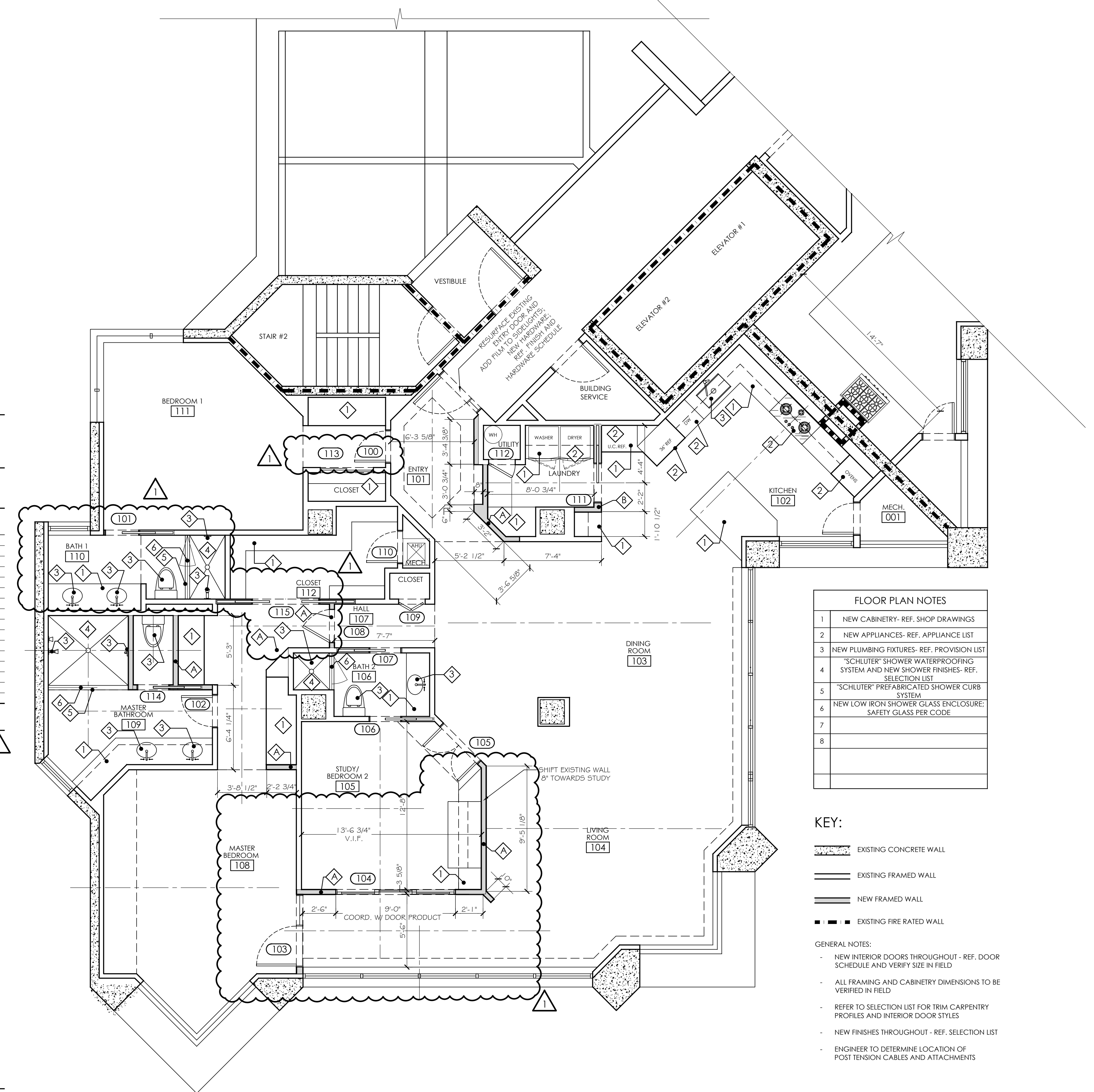
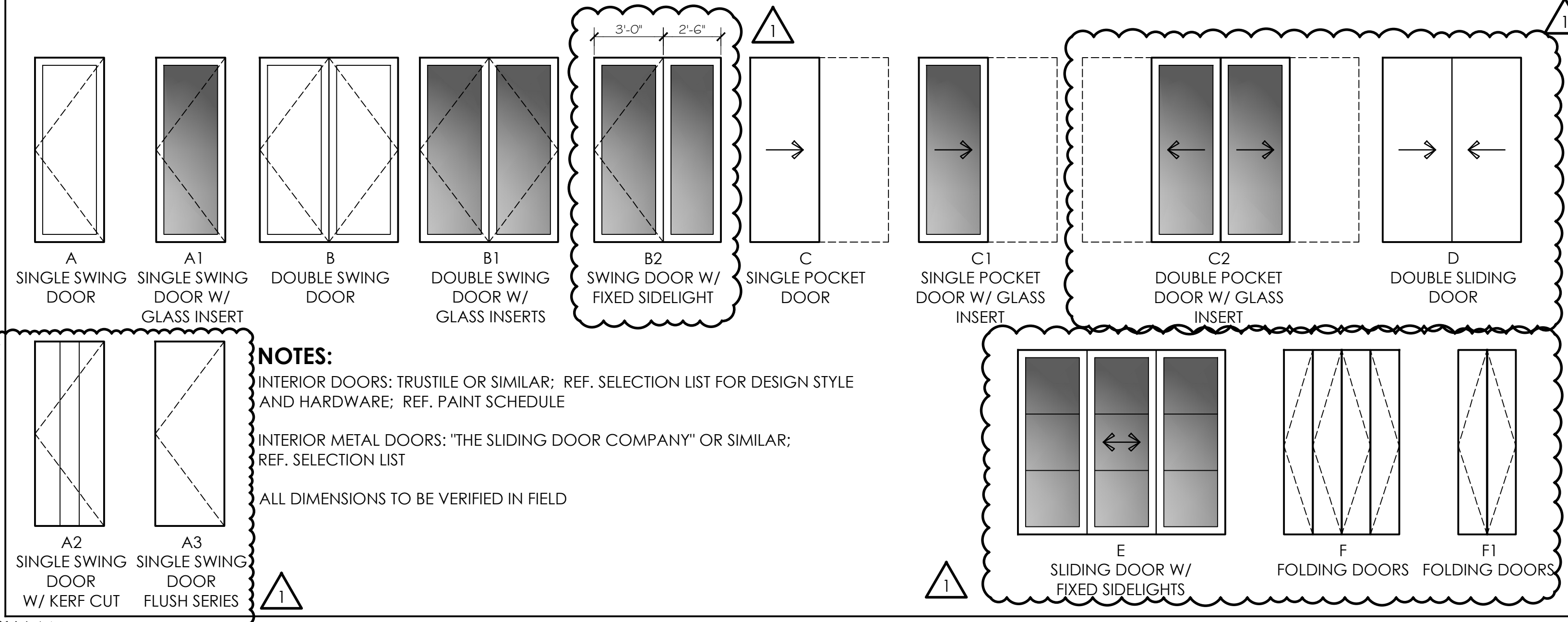
- WALL TYPE - A
- 3 5/8 IN. WIDE (MIN.) BEAM AND CEILING RUNNER - (NOT SHOWN)
 - STEEL STUDS - CHANNEL SHAPED, 3 5/8 IN. WIDE (MIN.)
 - BATT AND BLANKET INSULATION - (OPTIONAL)
 - GYPSUM BOARD - 5/8" OR 1/2" THICK.

- WALL TYPE - B
- 6 IN. WIDE BEAM AND CEILING RUNNER - (NOT SHOWN)
 - STEEL STUDS - CHANNEL SHAPED, 6 IN. WIDE (MIN.)
 - BATT AND BLANKET INSULATION - (OPTIONAL)
 - GYPSUM BOARD - 5/8" OR 1/2" THICK.

DOOR SCHEDULE

DOOR NO	EXISTING /NEW	HRD WR SET	DOOR TYPE	SWING L/R	DOOR SIZE			FIRE RATE	DOOR FINISH			FRAME FINISH			REMARKS
					WIDTH	HEIGHT	THICK		MAT	INT	EXT	MAT	INT	EXT	
INTERIOR DOORS															
100	NEW	-	A2	LH	2'-6"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
101	NEW	-	A2	RH	2'-8"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
102	NEW	-	A2	LH act.	3'-6"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	LAMINATED OPAQUE GLASS
103	NEW	-	B2	LH act.	3'-6"	6'-8"	1 3/4"	-	MTL	PT	PT	MTL	PT	PT	LAMINATED OPAQUE GLASS
104	NEW	-	E	RH act.	9'-0"	6'-8"	1 3/4"	-	MTL	PT	PT	MTL	PT	PT	LAMINATED OPAQUE GLASS
105	NEW	-	B1	RH act.	4'-0"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
106	NEW	-	C	-	2'-6"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
107	NEW	-	C	-	2'-6"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
108	NEW	-	A2	LH	2'-6"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	SECRET DOOR TBD
109	NEW	-	F1	-	2'-0"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
110	NEW	-	A	RHR	2'-6"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	LOUVERS TBD
111	NEW	-	C	-	3'-0"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
112	NEW	-	A	LHR	2'-0"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	LOUVERED
113	NEW	-	F	-	4'-0"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	
114	NEW	-	C	-	2'-4"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	FROSTED FILM TBD
115	NEW	-	C2	-	5'-0"	6'-8"	1 3/4"	-	WD	PT	PT	WD	PT	PT	FROSTED FILM OR MIRROR TBD

INTERIOR DOORS TYPES



- FLOOR PLAN NOTES
- NEW CABINERY- REF. SHOP DRAWINGS
 - NEW APPLIANCES- REF. APPLIANCE LIST
 - NEW PLUMBING FIXTURES- REF. PROVISION LIST
 - "SCHLUTER" SHOWER WATERPROOFING SYSTEM AND NEW SHOWER FINISHES- REF. SELECTION LIST
 - "SCHLUTER" PREFABRICATED SHOWER CURB SYSTEM
 - NEW LOW IRON SHOWER GLASS ENCLOSURE; SAFETY GLASS PER CODE.
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- KEY:
- EXISTING CONCRETE WALL
 - EXISTING FRAMED WALL
 - NEW FRAMED WALL
 - EXISTING FIRE RATED WALL

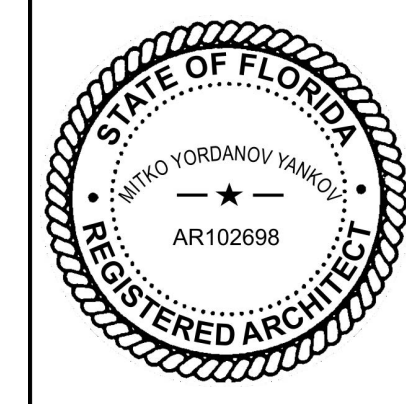
- GENERAL NOTES:
- NEW INTERIOR DOORS THROUGHOUT - REF. DOOR SCHEDULE AND VERIFY SIZE IN FIELD
 - ALL FRAMING AND CABINERY DIMENSIONS TO BE VERIFIED IN FIELD
 - REFER TO SELECTION LIST FOR TRIM CARPENTRY PROFILES AND INTERIOR DOOR STYLES
 - NEW FINISHES THROUGHOUT - REF. SELECTION LIST
 - ENGINEER TO DETERMINE LOCATION OF POST TENSION CABLES AND ATTACHMENTS

PROJECT:
 CONDO RENOVATION ALTERATION LEVEL 2
 5555 HERON POINT DR, APT 201, NAPLES, FL 34108

DRAWING TITLE:
 PROPOSED FLOOR PLAN;
 INTERIOR DOOR SCHEDULE;
 TYPICAL DETAILS

No.	Description	Date
1	ISSUED FOR BID	01/05/2026
2	ISSUED FOR PERMIT	02/04/2026
3	REV. PER COMMENTS	02/25/2026
4	REVISION	06/04/2026

SHEET:



MITKO Y. YANKOV
LICENSE No. AR102698

PROJECT:
CONDO RENOVATION ALTERATION LEVEL 2
5555 HERON POINT DR, APT 201, NAPLES, FL 34108

DRAWING TITLE:
REFLECTED CEILING PLAN

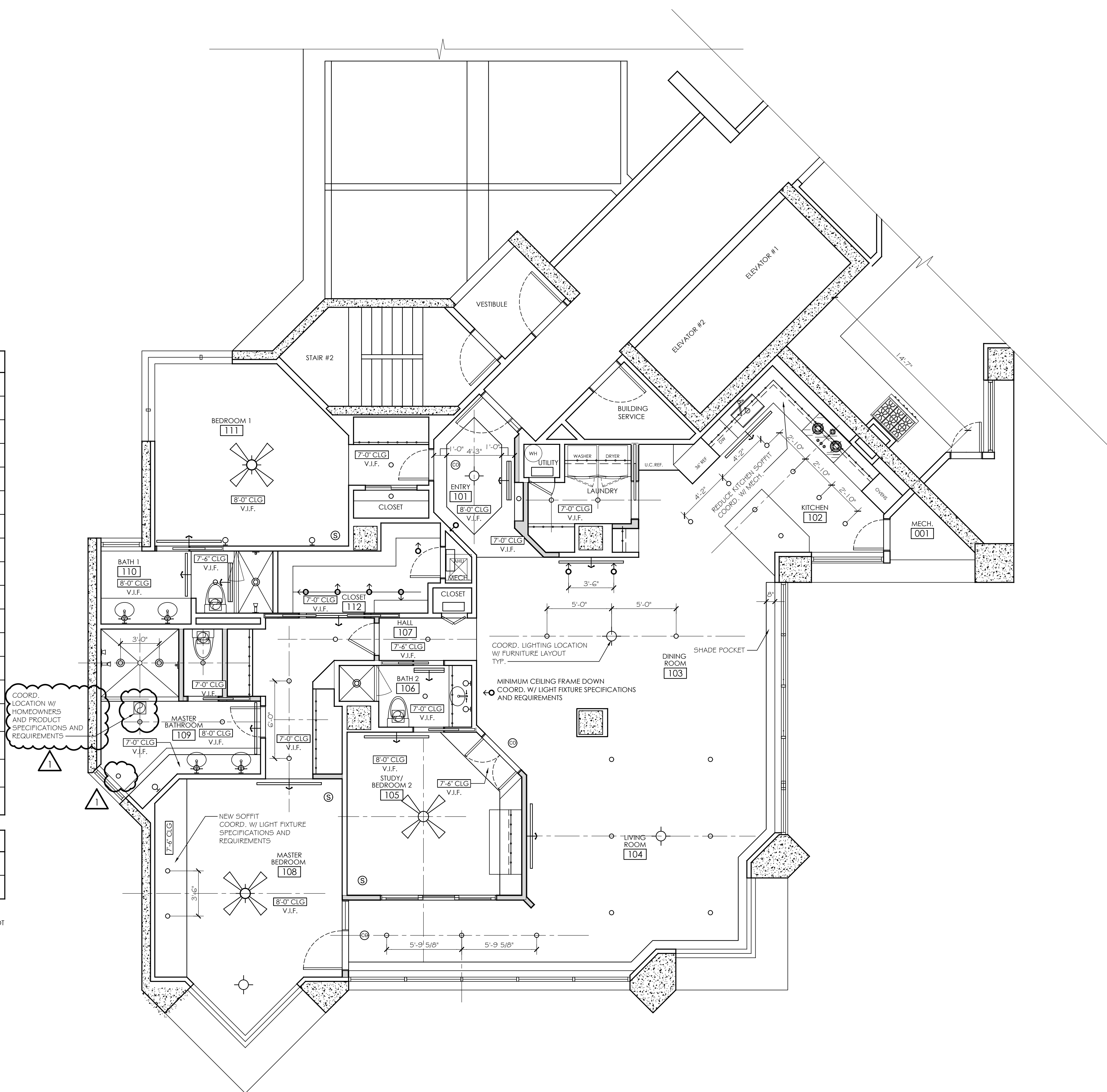
No.	Description	Date
1	ISSUED FOR BID	01/05/2024
1	ISSUED FOR PERMIT	02/04/2024
1	REVISION	06/04/2024

SHEET:

LIGHTING KEY	
	CEILING MOUNTED FIXTURE
	RECESSED DOWNLIGHT
	WALL MOUNTED DECORATIVE FIXTURE
	CEILING MOUNTED LED FIXTURE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	UNDER CABINET / COVE LIGHT
	LUTRON MOTORIZED SHADES
	LUTRON MANUAL ROLL SHADES
	DIRECTIONAL LIGHT
	FAN
	"QUIET SERIES" EXHAUST FAN
	SPEAKER
	FLOOD LIGHTS
	RECESSED REGRESSED LENS SHOWERLIGHT - UL RATED FOR WET LOCATION
	RECESSED UPLIGHT AT GRADE
	RECESSED WALL/STEP LIGHTS
	POOL LIGHT

A/C KEY	
	CEILING MOUNTED DOUBLE-SLOT SUPPLY DIFFUSER
	WALL MOUNTED DOUBLE-SLOT SUPPLY DIFFUSER

GENERAL NOTES:
- REPLACE ALL A/C REGISTERS W/ DOUBLE SLOT DIFFUSERS - V.I.F.



REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

1

(REVISION 1) 06/04/2026

A30.0